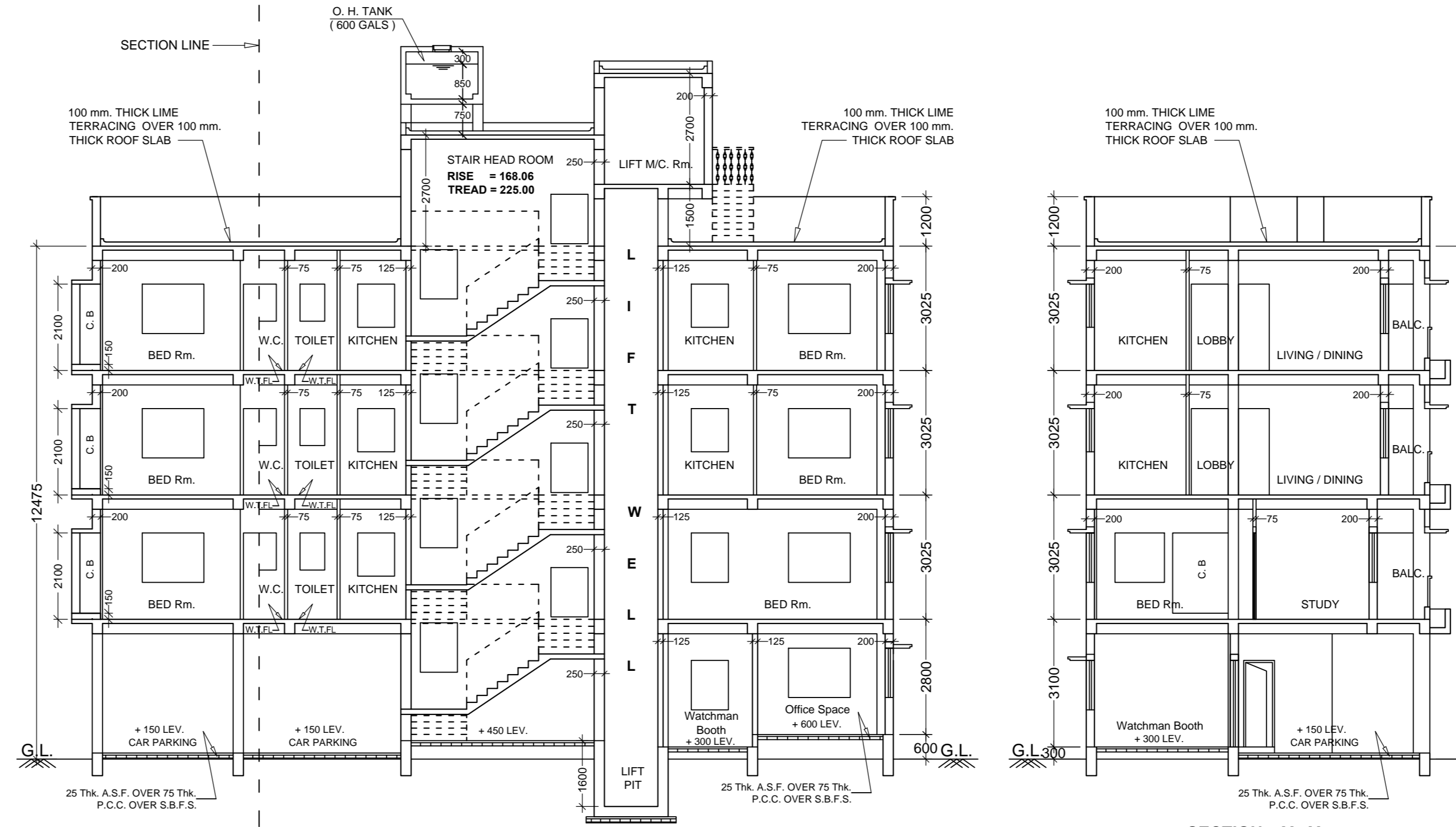




**FRONT ELEVATION**  
(SCALE = 1 : 100)

**WEST SIDE ELEVATION**  
(SCALE = 1 : 100)



**SECTION = X - X**  
(SCALE = 1 : 100)

**SECTION = Y - Y**  
(SCALE = 1 : 100)

**CERTIFICATE**

PREMISES NO. : 1300, NETAJI SUBHAS CHANDRA BOSE ROAD.  
ASSEESSEE NO. : 21-095-06-0126-7  
NAME OF THE OWNERS/APPLICANTS : SRI. NARAYAN SAHA PROPRIETOR OF M.S. NARAYAN SAHA CONSTITUTED ATTORNEY OF SMT. GOURI GANGULY, & SRI SUDIP GANGULY.  
AREA OF LAND : 3 K. - 11 CH. - 21 SQFT. = 248.606 SQM.  
NAME OF L.B.S. : AVIJIT DAS (L.B.S. NO. - 1765/1 (K.M.C.))  
PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AA1 : 33 M.  
CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL) :

REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS 84		SITE ELEVATION
	LATITUDE	LONGITUDE	
* A *	22° 29' 8.75" N	88° 21' 26.96" E	9.14 m.
* B *	22° 29' 8.21" N	88° 21' 25.93" E	9.14 m.
* C *	22° 29' 7.45" N	88° 21' 26.19" E	9.14 m.
* D *	22° 29' 8.05" N	88° 21' 27.01" E	9.14 m.

THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN I SHALL BE FULLY LIABLE FOR WHICH K.M.C. AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST ME AS PER LAW.

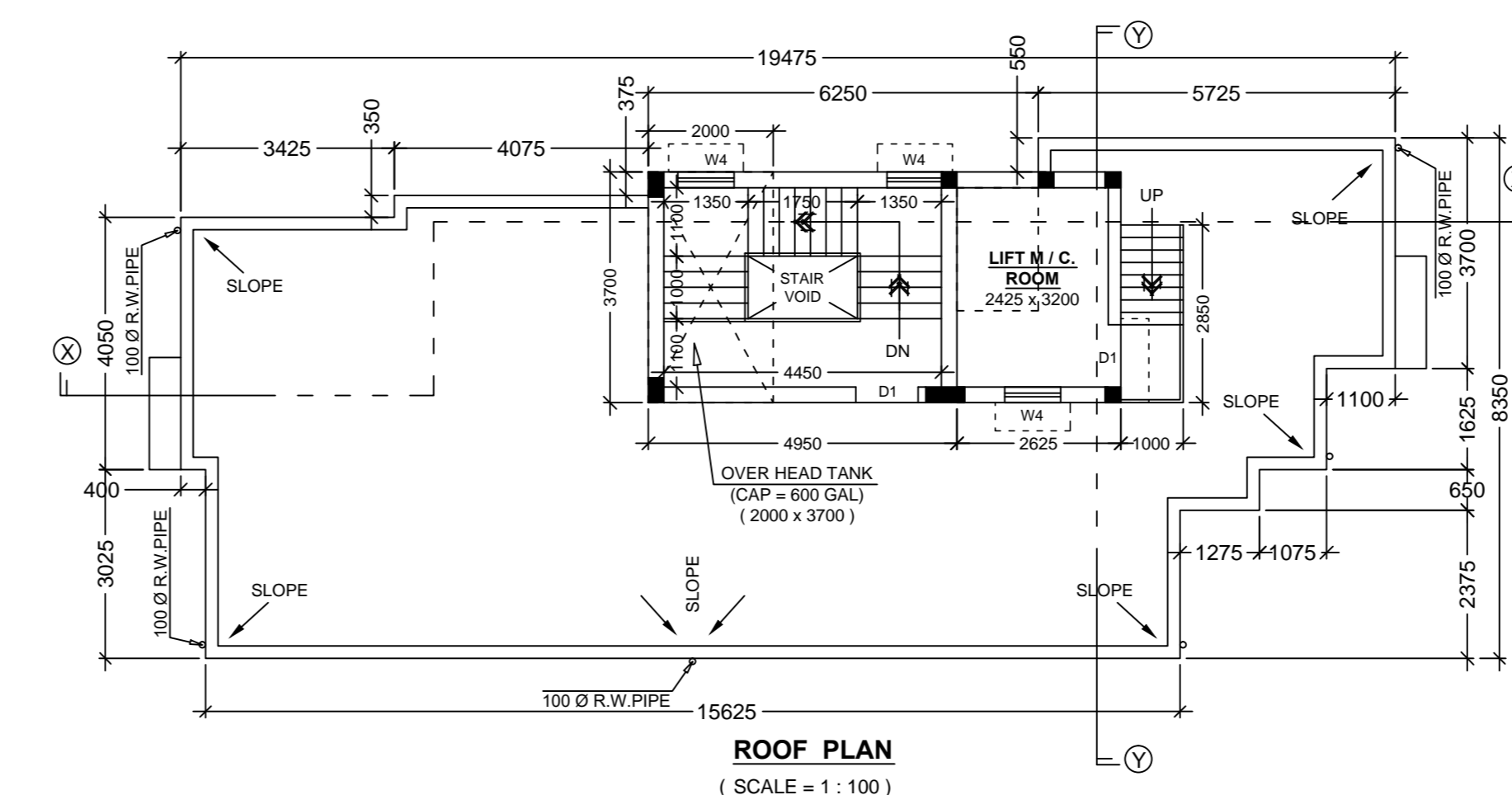
SRI. NARAYAN SAHA PROPRIETOR OF M.S. NARAYAN SAHA CONSTITUTED ATTORNEY OF SMT. GOURI GANGULY, & SRI SUDIP GANGULY.  
NAME OF OWNER / APPLICANTS

AVIJIT DAS  
L.B.S. NO. - 1765/1 (K.M.C.)  
NAME OF L.B.S.

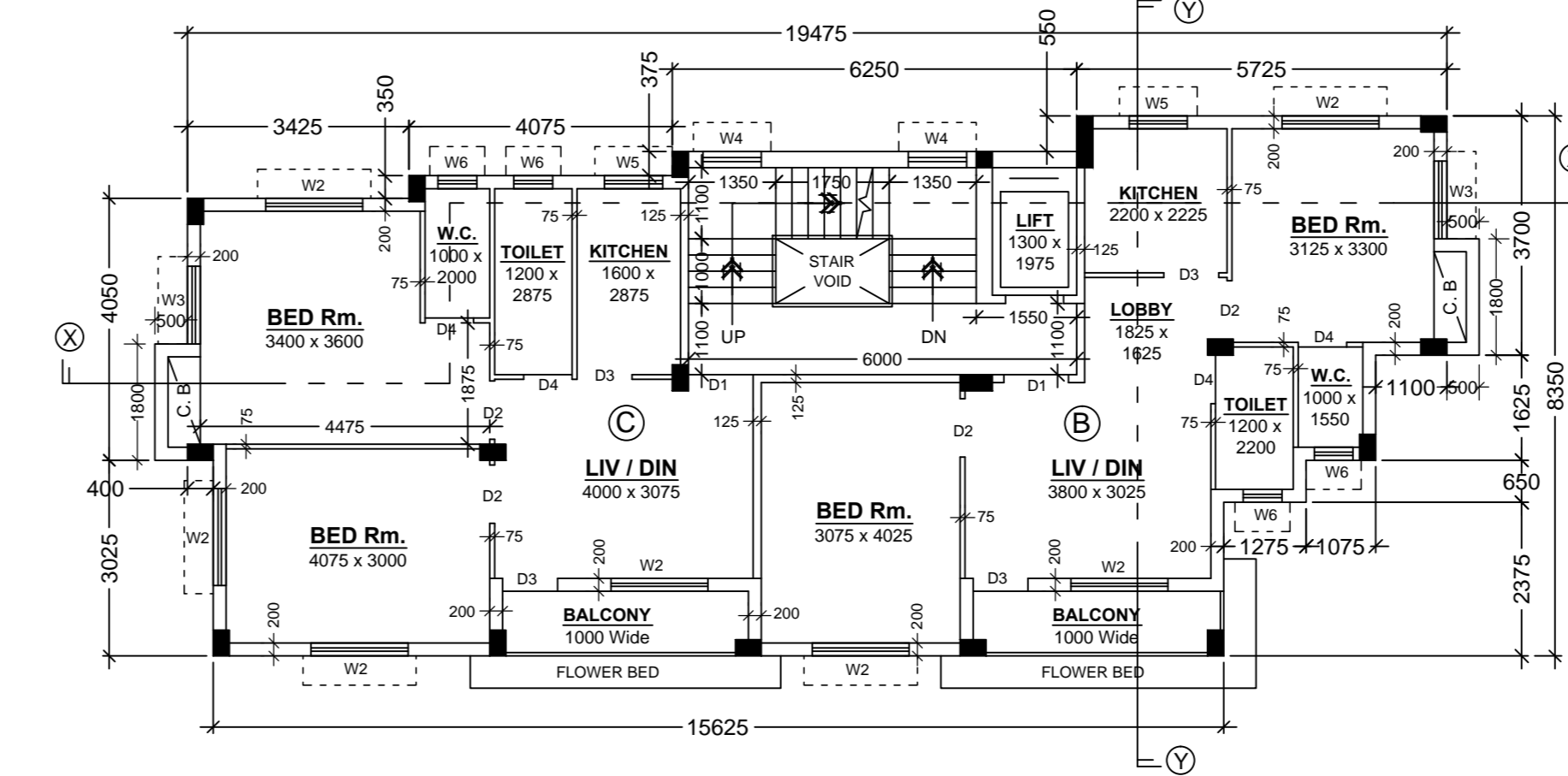
**SPECIFICATION**

- ALL DIMENSIONS ARE IN MM.
- THE HEIGHT OF THE BUILDING IS 12.475 m.
- THE BUILDING IS R.C.C. FRAME STRUCTURE.
- ALL OUTER WALL ARE 250 / 200 mm. THICK.
- ALL INTERNAL WALL ARE 75 / 125 mm. THICK.
- GRADE OF CONCRETE IS M20.
- GRADE OF STEEL IS Fe - 500.
- 100 THICK LIME TERRACING OVER 100 THICK R.C.C. ROOF SLAB.
- 12 MM. THICK PLASTER TO ALL INTERNAL WALL WITH (1 : 5) CEMENT SAND MORTAR.
- HEIGHT OF PARAPET WALL IS 1200 mm.

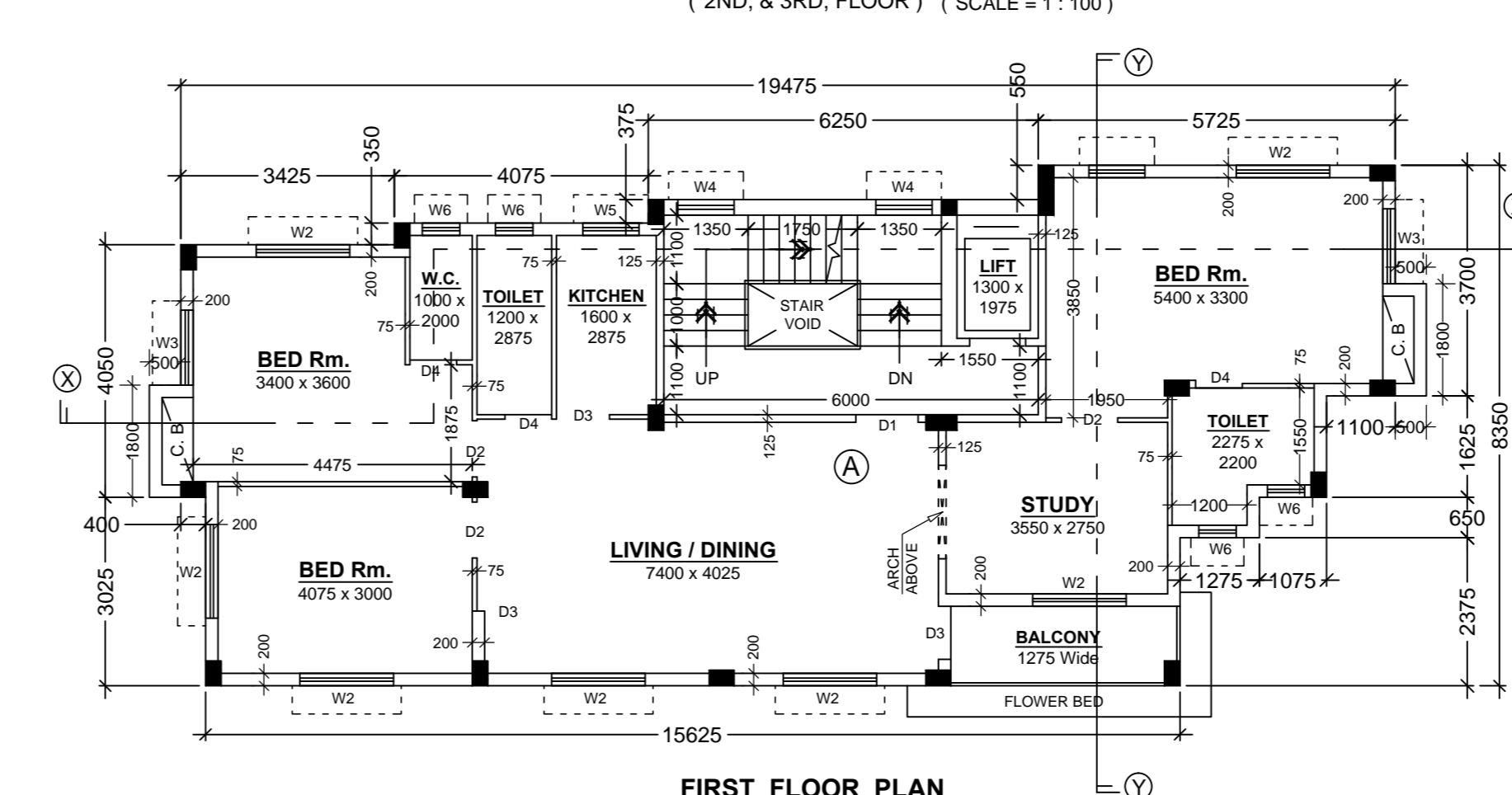
DOOR	SIZE	W1	W2	W3	W4	W5	W6
D	1200 x 2100	1800 x 1800					
D1	1000 x 2100	1500 x 1200					
D2	900 x 2100	1200 x 1200					
D3	850 x 2100	900 x 1200					
D4	750 x 2100	750 x 900					
D5		500 x 750					



**ROOF PLAN**  
(SCALE = 1 : 100)



**TYPICAL FLOOR PLAN**  
(2ND & 3RD, FLOOR) (SCALE = 1 : 100)



**FIRST FLOOR PLAN**  
(SCALE = 1 : 100)

**GROUND FLOOR PLAN.** (SCALE = 1 : 100)

NETAJI SUBHAS CHANDRA BOSE ROAD  
(BLACK TOP ROAD)

THE WIDTH OF THE ROAD ON NORTHERN SIDE OF THE APRESAID PREMISES IS 15' 0" AS PER RECORD BUT PHYSICALLY 15' 0" AT POINT 'A' AND 15' 0" AT POINT 'B'. THE WIDTH OF THE PASSAGE PARTLY ABUTTING ON WESTERN SIDE OF THE APRESAID PREMISES CAN NOT BE CERTIFIED BY THIS DEPARTMENT.  
AS PER S.O.R. CH. V & S. ID NO. - 820 / 2024 - 2025

Tree Covered Area = 1.918 Sqm.

Average Back as per Notifications No. - 480/MA/OC-4/R-13/2012, Date : 21/10/2014, of U.R. 61(3)  
Average Rear Open Space Calculation :  
= Total Rear Area / Rear Dimension of Proposed Building = 25.912 / 8.350 = 3.103 M.

**STATEMENT OF PROPOSAL**

**PART - A**

- ASSEESSEE NO. : 21-095-06-0126-7
- NAME OF THE OWNER/S : (Recorded) SMT. GOURI GANGULY, SRI SUDIP GANGULY.
- DETAILS OF REGD. TITLE DEEDS  
Book NO. - I, VOL. NO. - 216, Pages - 277 to 292, Being NO. - 5305, Year - 1981, D.S.R., ALIPORE, 24-Parganas, West Bengal, Date - 15/05/1981.
- DETAILS OF REGD. BOUNDARY DECLARATION  
Book NO. - I, VOL. NO. - 1604-2024, Pages - 24643 to 24646, Being NO. - 16040439, Year - 2024, D.S.R.-IV, South 24-Parganas, West Bengal, Date - 29/07/2024.
- DETAILS OF REGD. GENERAL POWER OF ATTORNEY  
Book NO. - I, VOL. NO. - 1604-2024, Pages - 61092 to 6111, Being NO. - 16040202, Year - 2024, D.S.R.-IV, South 24-Parganas, West Bengal, Date - 22/02/2024.

**PART - B**

- Area Of Land : 248.606 SQM/ 3K-11CH-21 SQFT. (AS PER DEED)
- Area Of Land : 248.564 SQM/ 3K-11CH-31 SQFT. (AS PER SITE)
- PERMISSIBLE GROUND COVERAGE = 58.380 % = 145.136 Sqm.
- PROPOSED GROUND COVERAGE = 55.686 % = 138.438 Sqm.
- NET AREA OF LAND : 248.606 Sqm.

**5. PROPOSED AREA :**

	Covered Area (Including Stair, Lift Duct & Lobby)	Stair Void / Duct Area	CUTOUT Lift Area	Total Area	Stair Way Area (Excluding Stair, Lift Duct & Lobby)	Lift Lobby	Floor Area (Including Stair, Lift Duct & Lobby)
Ground Floor	138.438 Sqm.	—	—	138.438	12.490	1.705	124.243 Sqm.
First Floor	138.438 Sqm.	1.750	2.567	134.121	12.490	1.705	119.926 Sqm.
Second Floor	138.438 Sqm.	1.750	2.567	134.121	12.490	1.705	119.926 Sqm.
Third Floor	138.438 Sqm.	1.750	2.567	134.121	12.490	1.705	119.926 Sqm.
<b>Total</b>	<b>553.752 Sqm.</b>	<b>6.250</b>	<b>6.820</b>	<b>540.798</b>	<b>49.960</b>	<b>6.820</b>	<b>484.021 Sqm.</b>

TOTAL EXEMPTED AREA = 56.780 Sqm.

**6. PARKING CALCULATION :**

A)	Prop. Share	Tenement Size	Tenement No	Required Parking
ABOVE 100 SQM.				
A - 117.843 Sqm.	28.227	145.870 Sqm.	1 No.	1 No.
BETWEEN 50 - 75 SQM.				
B - 57.887 Sqm.	13.889	71.776 Sqm.	2 Nos.	1 No.
C - 59.756 Sqm.	14.336	74.094 Sqm.	2 Nos.	1 No.
Business (Office Space) Carpet Area Above 50 Sqm. one car parking space				NIL
Carpet Area Business (Office Space) - 11.175 Sqm.				
				Total Required Parking = 2 Nos.

**7. PERMISSIBLE F. A. R. = 1.75**

**8. PROPOSED F. A. R. = 484.021 - (2 x 25) / 248.606 = 1.746 < 1.75**

- TOTAL CURBOARD AREA = 5.400 Sqm.
- STAIR HEAD ROOM AREA = 18.315 Sqm.
- OVER HEAD TANK AREA = 7.400 Sqm.
- LIFT MACHINE ROOM AREA = 9.713 Sqm.
- LIFT MACHINE ROOM STAIR AREA = 2.850 Sqm.
- HEIGHT OF THE BUILDING = 12.475 m.
- PROPOSED TOTAL COMMON AREA = 84.680 Sqm.
- PROPOSED OPEN TERRACE AREA = 138.438 Sqm.
- TREE COVERED AREA REQUIRED (540.801 / 6000) x 15% x 248.606 = 3.361 Sqm.
- PROPOSED (Floor Area + Cupboard + Stair Head Rm + Lift M/C Rm + Lift M/C Rm Stair) = 577.079 Sqm.
- BUSINESS (OFFICE SPACE) BUILTUP AREA = 14.286 Sqm.
- BUSINESS (OFFICE SPACE) CARPET AREA = 11.175 Sqm.

**DECLARATION OF OWNERS/APPLICANTS**

WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT WE SHALL ENGAGE L.B.S. & E.S.E DURING CONSTRUCTION. WE SHALL FOLLOW THE INSTRUCTIONS OF L.B.S. & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN). K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS AREA FOUND TO BE FAKE, THE K.M.C. AUTHORITY MAY REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF E.S.E / L.B.S. BEFORE STARTING OF BUILDING FOUNDATION WORK.

SRI NARAYAN SAHA  
PROPRIETOR OF M.S. NARAYAN SAHA  
CONSTITUTED ATTORNEY OF  
SMT. GOURI GANGULY, SRI SUDIP GANGULY.  
NAME OF OWNER/APPLICANTS

**CERTIFICATE OF L.B.S.**

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. ACT 1980 & BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK.  
THE SITE WILL BE SUPERVISED BY ME.

AVIJIT DAS  
L.B.S. NO-1765/1 (K.M.C.)  
NAME OF L.B.S.

**CERTIFICATE OF E.S.E.**

THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAVE BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C OF INDIA AND BASIS OF SOIL INVESTIGATION REPORT BY BHASKARJYOTI ROY, G.T.E-490, (K.M.C.) SOIL TECH. OFFICE 51/11, P.G.H. SHAH ROAD, JADAVPUR, KOLKATA-700032, CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.

S. B. BHATTACHARYYA  
E.S.E/116 (K.M.C.)  
NAME OF E.S.E.

**CERTIFICATE OF GEO-TECH. ENGINEER**

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

BHASKARJYOTI ROY,  
G.T. I/50 (K.M.C.)  
NAME OF GEO-TECHNICAL ENGINEER.

**PROPOSED FOUR (G + III) STORED (Height of the Building is 12.475 m.) RESIDENTIAL BUILDING FOLLOWING SECTION 393A OF K.M.C. Building ACT 1980 & K.M.C. Building Rules, 2009, AT PRE. No. - 130D, NETAJI SUBHAS CHANDRA BOSE ROAD, KOLKATA - 700 040. WITHIN C. S. DA6 NO. - 349, KHATIAN NO. - 137/4, MOUZA - SHIBPUR, P. S. - GOLF GREEN, WARD NO. - 95, BOROUGH - X. ( UNDER THE KOLKATA MUNICIPAL CORPORATION )**

**\*\*\* DETAILS OF ARCHITECTURAL DRAWING \*\*\***

BUILDING PERMIT NUMBER: 2024100236  
DATE: 31/01/2025  
VALID UP TO: 31-JAN-2030

ASSISTANT ENGINEER (CIVIL)/BLDG/ BR - X